



MPC AGENDA

Meeting: June 10, 6:00 p.m. – 6:30 p.m.

Location: <https://call.lifesizecloud.com/17945621> (virtual option only)

1. CALL TO ORDER

2. EXCUSED FROM MEETING

3. ADOPTION OF AGENDA

4. ADOPTION OF MINUTES

4.1 May 13, 2024

5. DEVELOPMENT REPORT

None

6. DEVELOPMENT PERMITS/REQUESTS

6.1 Plan 3158AB; Block 9; Lots 18-19 – TOB-D-12-24

7. SUBDIVISIONS

None

8. INFORMATION PERIOD

None

9. QUESTION PERIOD

10. CLOSED SESSION

None

11. ADJOURNMENT



MINUTES OF THE MUNICIPAL PLANNING COMMISSION MEETING OF THE TOWN OF BASSANO HELD IN THE VIRTUAL COUNCIL CHAMBERS ON MAY 13, 2024.

MPC MEMBERS

CHAIR Sydney Miller
BOARD MEMBERS John Slomp
Irv Morey
Kevin Jones
Dale Luchuck

STAFF Amanda Davis, Chief Administrative Officer

DELEGATES/MEDIA Sandra Stanway, Brooks Bulletin
Leo Farne, Developer

1. CALL TO ORDER

CAO Davis called the meeting to order at 6:00 p.m.

2. ELECTION OF THE CHAIR AND VICE CHAIR

CAO Davis called for nominations of Chairperson.

MEMBER SLOMP nominated Sydney Miller for the position of Chairperson.

Since there were no other nominations from the floor, **MEMBER MOREY** called for nominations to cease.

CAO Davis declared **MEMBER MILLER** as Chairperson for a one-year period commencing May 13, 2024. Member Miller accepted.

CHAIR MILLER called for nominations of Vice Chairperson.

MEMBER MOREY nominated John Slomp for the position of Vice Chairperson.

Since there were no other nominations from the floor, **MEMBER MOREY** called for nominations to cease.

CHAIR MILLER declared John Slomp as Vice Chairperson for a one-year period commencing May 13, 2024. Member Slomp accepted.

3. EXCUSED FROM MEETING

- None

4. ADOPTION OF AGENDA

MPC01/24 Moved by **CHAIR MILLER** that the agenda is approved as amended to reorder for elections.

CARRIED

5. ADOPTION OF MINUTES

5.1 Adoption of minutes from the Municipal Planning Commission meeting on July 10, 2024

MPC02/24 Moved by **MEMBER SLOMP** that the Municipal Planning Commission minutes of July 10, 2024 are approved as presented.

CARRIED

6. DEVELOPMENT REPORT

None

7. DEVELOPMENT PERMITS/REQUEST

7.1 Plan 771 1039; Block 2; Lot 14 – TOB-D-07-24

The MPC established the following rules of order related to business item 7.1

The Development Officer shall present the RFD and matter for consideration. Once the MPC is satisfied with the presentation, the Chairperson, invites the developer to speak. Once the MPC is satisfied with the developer presentation, the Chairperson invites members of the public to ask questions specific to the proposed development. Each person may speak once before the MPC debates the development. The Chairperson may extend one final invitation to the public to ask/comment about anything new that has not already been said as the MPC's role is to gather information and listen to public comments on how they feel the development will impact them. After all information has been offered to the MPC, pursuant to s. 197 of the *Municipal Government Act*, the MPC will go into a closed session to deliberate the proposed application.

The development officer presented development permit TOB-D-07-24. The developer Leo Farne provided additional context related to his project's conformance to the Land Use Bylaw and desire to maintain a positive relation to help build the town with this investment.

Chair Miller proceeded to open the floor for public questions related to the application. Similar concerns were presented publicly on the following items:

1. Concerns of parking suitability and congestion in the residential district.
2. Concerns about back-alley maintenance and access to the property throughout the year.
3. Public utility services – how the garbage truck will access waste pick-up in an already congested neighborhood.

MPC03/24 Moved by **MEMBER MOREY** to go into a closed session pursuant to s. 197 of the *Municipal Government Act* with all persons excluded except the MPC and Amanda Davis, Development Officer at 6:55 p.m.

CARRIED

MPC04/24 Moved by **MEMBER JONES** to revert to a regular meeting at 7:35 p.m.

MPC05/24 Moved by **MEMBER MOREY** that the Municipal Planning Commission REFUSES the development permit TOB-D-07-24 on Plan 771 1039; Block 2; Lot 14 for a 4-Unit (Row House) dwelling in accordance with the development permit application received on May 1, 2024 due to its lack of suitability and increased density on 4th Avenue Close.

CARRIED

8. SUBDIVISIONS

8.1 2024 BUILD BASSANO Development Project - Part 2 - 5A Avenue Triangle Subdivision 2024-0-046

MPC06/24 Moved by **MEMBER JONES** that the Residential subdivision of Lot 1, Block 51, Plan 151 0415 within NE ¼ 17-21-18 W4M (Certificate of Title No. 211 003 759), to create 4 residential lots BE APPROVED subject to the following:

CONDITIONS:

1. That, pursuant to Section 654(1)(d) of the Municipal Government Act, all outstanding property taxes shall be paid to the Town of Bassano.
2. That, pursuant to Section 655(1)(b) of the Municipal Government Act, the applicant or owner or both enter into and comply with a Development Agreement with the Town of Bassano which shall be registered concurrently with the final plan against the title(s) being created.

CARRIED

9. INFORMATION ITEMS

None

10. QUESTION PERIOD

None

11. CLOSED SESSION

None

12. ADJOURNMENT

MPC07/24 Moved by **CHAIR MILLER** to adjourn the regular Municipal Planning Commission meeting of May 13, 2023 at 7:47 p.m.

CARRIED

Chairperson

Chief Administrative Officer

Unapproved



REQUEST FOR DECISION

Municipal Planning Commission

Meeting: June 10, 2024

Agenda Item: 6.1

SUBJECT: Plan 3158AB, Block 9; Lots 18-19 – TOB-D-12-24

BACKGROUND

Applicant: Brian Sawatsky

Plan 3158AB, Block 9, Lots 18-19

Land Use: Industrial (I)

Location: 610 – 1st Avenue, Bassano



Development Summary

Development Permit Application No. TOB-D-12-24 is for the construction of a new 3,120 square foot commercial development. The new development conforms to the Land Use Bylaw as proposed. The reason the development is referred to the MPC is to address the variance request for two accessory structures.

Currently, there are two 280 square foot accessory structures at the location. The property owners wishes to keep them onsite but seeks a waiver to relax the setbacks. The applicant indicated reducing the setback would provide greater flow and accessibility within his lot.

Request 1 – reduce the minimum side yard and rear yard setbacks for two accessory structures as follows:

1. To reduce the minimum side yard setback of 10 feet to 5 feet on accessory structure one.

2. To reduce the minimum side yard setback of 10 feet to 5 feet on accessory structure two AND to reduce the rear yard setback from 25 feet to 5 feet.

A notice to adjacent landowners was publicly posted, emailed/hand delivered to 3 properties on June 4, 2024. At the time this report was prepared no responses were received.

When deciding on the application, the MPC must consider the following:

1. Does the proposed development meet the intent of the Industrial land use district?
2. Is the development, as proposed, generally appropriate for the district and with appropriate conditions, be reasonably compatible with existing neighbouring uses?
3. Does the setback variance unduly interfere with the amenities of the neighborhood or materially interfere with or affects the use, enjoyment, or value of neighboring properties?

MUNICIPAL PLANNING COMMISSION OPTIONS FOR CONSIDERATION:

OPTIONS:

#1 - That the Municipal Planning Commission APPROVES development permit TOB-D-12-24 located on Plan 3158AB; Block 9; Lots 18-19 for a 3,120 square foot shop with accessory structure variances in accordance with the development permit application received on May 29, 2024 with the following conditions:

Variances

1. That a variance is granted to reduce the side yard setback from 10 feet to 5 feet on the two accessory structures as shown on the site plan.
2. That a variance is granted to reduce the rear yard setback from 25 feet to 5 feet on one accessory structure as shown on the site plan.

Conditions

1. That the development proceeds as specified with all the documents submitted in the Development Permit Application received on May 29, 2024.
2. Any changes to approved drawings or development matters requires the written approval of the Development Officer.
3. The proposed development shall conform with all Federal, Provincial and Municipal statutes, regulations, codes, and standards except as waived in writing by the appropriate authority.
4. Any future development (demolition or new) must comply with the Town's Land Use Bylaw which is subject to change from time to time.
5. The applicant must submit a utility servicing plan to the Town for approval and enter into a development agreement where applicable to service the lot with water and sewer. The full

cost to service the lot is borne by the developer and must meet the standards set by the municipality.

6. The applicant must submit details regarding the exterior lights to ensure the product and installation does not interfere with neighbouring properties to the Town for approval.
7. The u-drain as proposed within the site plan shall not be connected to the municipal sanitary system unless a suitable sump system and catchment is planned. The applicant shall submit details regarding the u-drain system to the Town for approval prior to construction.
8. No outdoor storage is permitted onsite without prior approval from the Town.
9. Drainage shall be sloped towards 1st Avenue.
10. Signage: no signage was submitted as part of this application.
11. Landscaping: crushed gravel is acceptable for ground cover and landscape.
12. A civic address must be affixed to the front and rear of the property in accordance with Fire Bylaw 931/23.
13. All contractors, subcontractors, and tradespeople must have an active business license with the Town.
14. Plan 3158AB; Block 9; Lots 18-19 must be kept in an aesthetically pleasing manner as defined in the Beautify Bassano Initiative and respective bylaws.

#2 – That the Municipal Planning Commission APPROVES the development permit for a 3,120 square foot shop per the development permit TOB-D-12-24 on Plan 3158AB; Block 9; Lots 18-19 in accordance with the development permit received on May 29, 2024 but REFUSES the request for setback variances on the two accessory structure as follows:

Conditions

1. That the development proceeds as specified with all the documents submitted in the Development Permit Application received on May 29, 2024 less the placement of the two accessory structures. The accessory structures must meet the minimum setback established in the Land Use Bylaw 921/21.
2. Any changes to approved drawings or development matters requires the written approval of the Development Officer.
3. The proposed development shall conform with all Federal, Provincial and Municipal statutes, regulations, codes, and standards except as waived in writing by the appropriate authority.

4. Any future development (demolition or new) must comply with the Town's Land Use Bylaw which is subject to change from time to time.
5. The applicant must submit a utility servicing plan to the Town for approval and enter into a development agreement where applicable to service the lot with water and sewer. The full cost to service the lot is borne by the developer and must meet the standards set by the municipality.
6. The applicant must submit details regarding the exterior lights to ensure the product and installation does not interfere with neighbouring properties to the Town for approval.
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12. A civic address must be affixed to the front and rear of the property in accordance with Fire Bylaw 931/23.
13. All contractors, subcontractors, and tradespeople must have an active business license with the Town.
14. Plan 3158AB; Block 9; Lots 18-19 must be kept in an aesthetically pleasing manner as defined in the Beautify Bassano Initiative and respective bylaws.

RECOMMENDATION: Option 1

That the Municipal Planning Commission APPROVES development permit TOB-D-12-24 located on Plan 3158AB; Block 9; Lots 18-19 for a 3,120 square foot shop with accessory structure variances in accordance with the development permit application received on May 29, 2024 with the following conditions:

Variances

1. That a variance is granted to reduce the side yard setback from 10 feet to 5 feet on the two accessory structures as shown on the site plan.
2. That a variance is granted to reduce the rear yard setback from 25 feet to 5 feet on one accessory structure as shown on the site plan.

Conditions

1. That the development proceeds as specified with all the documents submitted in the Development Permit Application received on May 29, 2024.
2. Any changes to approved drawings or development matters requires the written approval of the Development Officer.
3. The proposed development shall conform with all Federal, Provincial and Municipal statutes, regulations, codes, and standards except as waived in writing by the appropriate authority.
4. Any future development (demolition or new) must comply with the Town's Land Use Bylaw which is subject to change from time to time.
5. The applicant must submit a utility servicing plan to the Town for approval and enter into a development agreement where applicable to service the lot with water and sewer. The full cost to service the lot is borne by the developer and must meet the standards set by the municipality.
6. The applicant must submit details regarding the exterior lights to ensure the product and installation does not interfere with neighbouring properties to the Town for approval.
7. The u-drain as proposed within the site plan shall not be connected to the municipal sanitary system unless a suitable sump system and catchment is planned. The applicant shall submit details regarding the u-drain system to the Town for approval prior to construction.
8. No outdoor storage is permitted onsite without prior approval from the Town.
9. Drainage shall be sloped towards 1st Avenue.
10. Signage: no signage was submitted as part of this application.
11. Landscaping: crushed gravel is acceptable for ground cover and landscape.
12. A civic address must be affixed to the front and rear of the property in accordance with Fire Bylaw 931/23.
13. All contractors, subcontractors, and tradespeople must have an active business license with the Town.
14. Plan 3158AB; Block 9; Lots 18-19 must be kept in an aesthetically pleasing manner as defined in the Beautify Bassano Initiative and respective bylaws.

Prepared by: Amanda Davis, CAO

Attachments:

1. Notice to Adjacent Landowners – June 4, 2024
2. Development Permit Application TOB-D-12-24



PUBLIC NOTICE OF DEVELOPMENT APPLICATION
ADJACENT LANDOWNERS AND PERSONS LIKELY TO BE AFFECTED

Issued June 4, 2024 (hand delivered or emailed)

Notice is hereby given that an application will be considered by the Development Authority for a Development Permit about the following:

DEVELOPMENT APPLICATION:	Development Permit No. TOB-D-12-24 Application for: 3,120 square foot shop with accessory structure variances
DISTRICTING:	Industrial (I)
CIVIC ADDRESS:	610 – 1st Avenue, Bassano, AB T0J 0B0
LEGAL DESCRIPTION:	Plan 3158AB, Block 9, Lots 18-19

Dear Sir or Madame:

Pursuant to Section 35 of Land Use Bylaw No. 921/21 of the Town of Bassano, notice is hereby given that on **Monday June 10, 2024 at 6:00 p.m.**, the Development Authority will consider **Development Application No. TOB-D-12-24** during a virtual meeting (<https://call.lifesizecloud.com/17945621>).

The application under consideration is to provide 3,120 square foot shop. There are two existing 280 square foot accessory structures whereby setback variances will be considered. The minimum allowable setback in the Industrial district for an accessory structure is 10 feet for the side yard and 25 feet for the rear yard. The applicant seeks a variance to allow for a 5 feet rear yard setback for one accessory structure, and a side yard setback of 5 feet for both accessory structures. All remaining development conforms to the Land Use Bylaw 921/21.

Persons requesting to be heard may submit comments to the Development Officer no later than Monday June 10, 2024 at 12:00 p.m. A copy of the application is available for inspection at the Town Office – 502 – 2nd Avenue Bassano, Alberta. Comments may be dropped off or mailed to the Town Office; or directed to Amanda Davis, Development Officer/Town of Bassano at cao@bassano.ca or 403-641-3788. No response indicates your approval/support for the development.

Amanda Davis

Amanda Davis, MBA
Development Officer
Town of Bassano



TOWN OF BASSANO NON-RESIDENTIAL DEVELOPMENT PERMIT APPLICATION

Date of Application: May 24 2024

Development Permit Application No. **TOB-D-12-24**

IMPORTANT NOTICE: This application **does not** permit you to commence construction until such time as a notice of decision has been issued by the Development Authority. If a decision has not been received within 40 days of the date of application and no extension agreement has been entered into, you have the right to deem the application refused and file an appeal to the Subdivision and Development Appeal Board.

**THIS DOES NOT CONSTITUTE A BUILDING PERMIT.
A SEPARATE BUILDING PERMIT MUST BE OBTAINED BEFORE CONSTRUCTION BEGINS.**

APPLICANT INFORMATION

Name of Applicant: Brian Sawatzky
Mailing Address: XXXXXXXXXX
City: Bassano
Postal Code: T0T 0B0

Phone: XXXXXXXXXXXX
Phone (alternate): XXXXXXXXXXXX
Email: XXXXXXXXXXXX

Is the applicant the owner of the property? Yes No
IF "NO"

Name of Owner: _____
Mailing Address: _____
City: _____
Postal Code: _____
Phone: _____
Phone (alternate): _____
Email: _____
Applicant's interest in the property: Agent Contractor Tenant Other _____

PROPERTY INFORMATION

Municipal Address of Development: 610 - 1 Avenue Roll Number: 154000
Legal Description: Lot(s) 18 and 19 Block 9 Plan 3158AB
Land Use District: Industrial/Commercial - Industrial (I)
What is the existing use? Lot Storage

DEVELOPMENT INFORMATION

This application is to: (Check all that apply)

Construct a new building (if greater than 500 ft² see abandoned well information section)

The building is for:

Commercial Use

Industrial Use

Public/Institutional Use

Alter/renovate/add to the existing building (if greater than 500 ft² see abandoned well information section)

Change in or intensification of use

Projected Construction Cost 250,000

Anticipated Construction Start Date June/July 2024 Completion Date July 2025?

Describe the proposed use, any changes from existing use, and any work to be done.

Shop use for Business

Construction of a new 60' x 52' shop that includes a 14' lean-to. Project description included in application supplementals. Two sheds will remain on site and must be relocated. The property is unserviced (municipal water/sewer). Tie-in will be required for the development.

WAIVERS

Is a waiver of one or more standards of the Land Use Bylaw being requested?

Yes No

If yes, please specify: more sheds to accommodate shop location variance request.

BUILDING REQUIREMENTS Refer to site plan.

	Principal Building	Office Use	
Parcel Size	15,000 <input type="checkbox"/> m ² <input checked="" type="checkbox"/> sq. ft.	15,000sq' <input type="checkbox"/> m ² <input type="checkbox"/> sq. ft.	
Building Size	3,240 <input type="checkbox"/> m ² <input checked="" type="checkbox"/> sq. ft.	3,120 sq' <input type="checkbox"/> m ² <input checked="" type="checkbox"/> sq. ft.	
Height of Building	25' <input type="checkbox"/> m <input checked="" type="checkbox"/> ft.	25' <input type="checkbox"/> m <input type="checkbox"/> ft.	
Proposed Setbacks from Property Lines			
Front	25' <input type="checkbox"/> m <input checked="" type="checkbox"/> ft.	25' <input type="checkbox"/> m <input type="checkbox"/> ft.	
Rear	67' <input type="checkbox"/> m <input checked="" type="checkbox"/> ft.	65' <input type="checkbox"/> m <input type="checkbox"/> ft.	
Side	21' <input type="checkbox"/> m <input checked="" type="checkbox"/> ft.	21.5' (east) <input type="checkbox"/> m <input type="checkbox"/> ft.	
Side	26' <input type="checkbox"/> m <input checked="" type="checkbox"/> ft.	26.5' (west) <input type="checkbox"/> m <input type="checkbox"/> ft.	Approx. 24.5% lot occupancy
Parcel Type:	<input checked="" type="checkbox"/> Interior Lot <input type="checkbox"/> Corner Lot		

Town of Bassano

Development Officer Contact Information: cao@bassano.ca or 403-641-3788

ABANDONED WELL INFORMATION

This applies to developments that require a new permit from the municipality for:

- new buildings larger than 500 sq. ft. (47 sq. m.), or
- additions to buildings that will result in the building being this size or larger.

If your development proposal fits the criteria above, you are required to do the following:

1. Obtain map and well information

Please go to the AER's Abandoned Well Viewer (viewer) on the AER website at www.aer.ca. The viewer will provide a map identifying all recorded abandoned well surface locations in the selected area and list any additional details that are available, including the licensee(s) of record and the latitude and longitude of each well's surface location.

If you do not have Internet access or have questions about the information provided by the viewer, you may contact:

- the AER Customer Contact Centre by telephone at: **1-855-297-8311 (toll-free)**, or
- by e-mail at: [Inquiries@aer.ca](mailto:Inquiries@ aer.ca), or
- the AER Information Services by mail at: **Suite 1000, 250 – 5 Street SW, Calgary, Alberta T2P 0R4**.

2. Submit the following as part of your development permit application

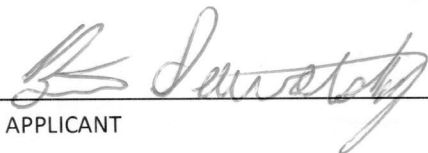
- the AER information, including a map of the search area from the viewer and a statement that there are no wells in the project area or a list and map identifying the location of abandoned wells within the search area (including the surface coordinates, as provided by the viewer or AER Information Services); and
- if an abandoned well is present, a detailed site plan must be provided that accurately illustrates the actual well location (i.e. latitude, longitude) on the subject parcel as identified in the field and the setback established in the AER Directive 079 (a minimum 5 m radius around the well) in relation to existing or proposed building sites.

If there is an abandoned well located in the area of the proposed surface development, the applicant is advised to contact the well licensee of record for any additional information that may be needed or to physically locate the well, and to discuss the proposed development and abandoned well issue in more detail.

DECLARATION OF APPLICANT/AGENT

The information given on this form is full and complete and is, to the best of my knowledge, a true statement of the facts in relation to the application for a Development Permit. I also consent to an authorized person designated by the municipality to enter upon the subject land and buildings for the purpose of an inspection during the processing of this application.

IMPORTANT: This information may also be shared with appropriate government/other agencies and may also be kept on file by those agencies. The application and related file contents will become available to the public and are subject to the provisions of the Freedom of Information and Protection of Privacy Act (FOIP).


APPLICANT

Registered Owner (if not the same as applicant)

PLOT PLAN

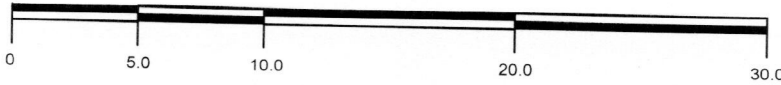
FOR A COMMERCIAL BUILDING

LEGAL DESCRIPTION: LOTS 18 & 19, BLOCK 9, PLAN 3158AB

MUNICIPAL ADDRESS: 610 FIRST AVENUE, BASSANO

BY: CAMERON CHRISTIANSON, A.L.S. APRIL 27, 2024

SCALE: 1:300



METRES

LEGEND:

Distances are in metres and decimals of a metre.

Lane access

LANE

5' from property line

5' from property line

5' from property line

LOT 20
BLOCK 9
PLAN 3158 AB

LOT 19
BLOCK 9
PLAN 3158 AB

LOT 18
BLOCK 9
PLAN 3158 AB

LOT 17
BLOCK 9
PLAN 3158 AB

PROPERTY LINE
45.72

PROPERTY LINE
45.72

PROPERTY LINE
TO BE CANCELLED

NOTE: TITLES TO
BE CONSOLIDATED

20'x14'
#1 Shed

20'x14'
#2 Shed

8.09

19.81

30.48

PROPERTY LINE

6.55

18.29

LEAN-TO ADDITION

18.29

PROPOSED
SHOP

18.29

12.19

8.09

3.66

7.62

12.19

6.55

*chain link fence
around property to
front of shop.*

Minimum of 5
parking stalls required
Zero degrees = 8' (w) x
22' (d) positioned along
front of shop
with street access.

PROPERTY LINE

30.48

*water main
tie in.*

FIRST AVENUE

PHONE: 403 - 793 - 0011

ADDITIONAL INFORMATION:

Owner: S.S.M. HEATING & AIR CONDITIONING LTD.

Address: Box 141, BASSANO, ALBERTA, T0J 0B0

Phone: 403 - 501 - 8258 (Mr. Brian Sawatsky)

*street access
parking stalls*

CAMERON CHRISTIANSON, A.L.S.

BROOKS

FILE 5851-23B

- Permission to move 20' x 14' utility sheds ~~to~~ from current location to the north east corner. The reason is due to the 2 sheds being as close as 5' from the property line. It should be noted that the sheds are currently 5' from the property line at its current location.

- Property entrance will be from 1st Ave. and the Alley lane way

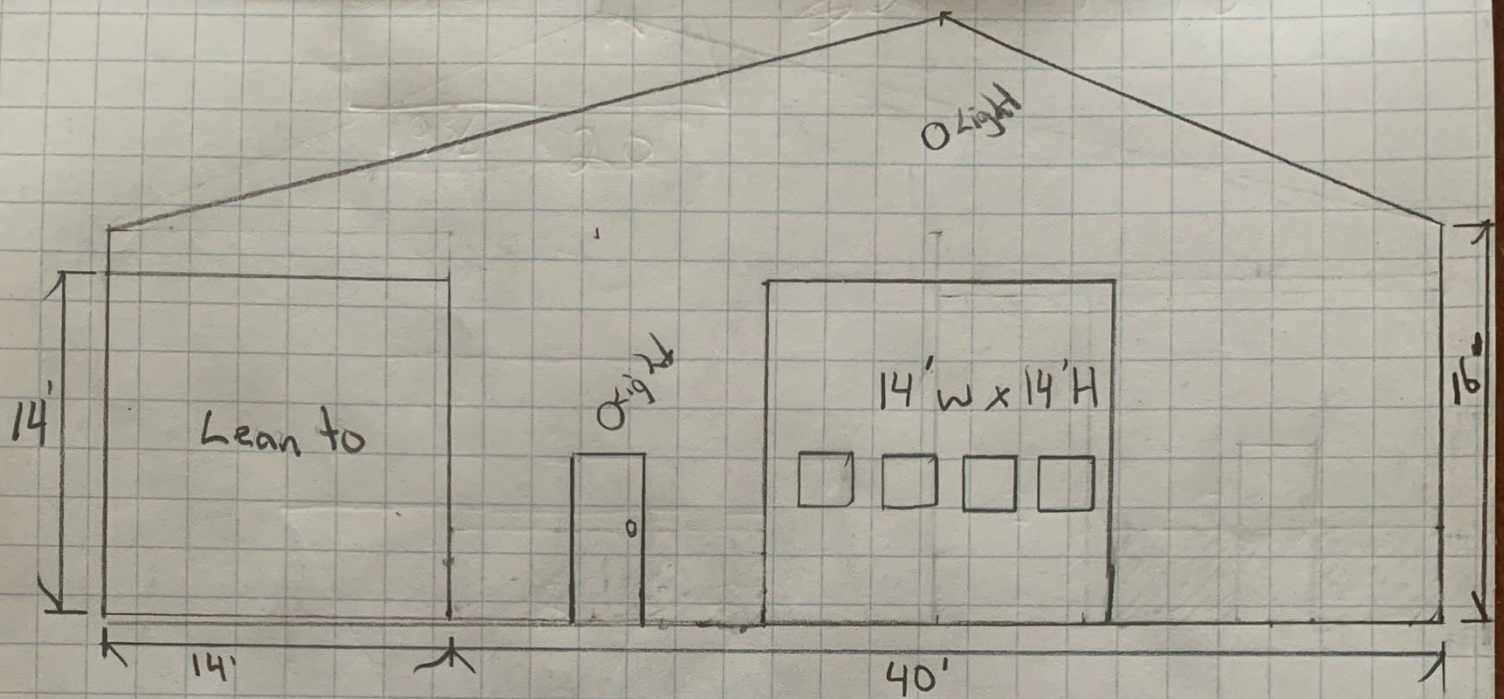
- Frontage parking will be accessible along the whole frontage of the property not blocking overhead doors or man doors. Approximately 8 parking stalls 3 meters each.

- Entire landscape to be gravel.

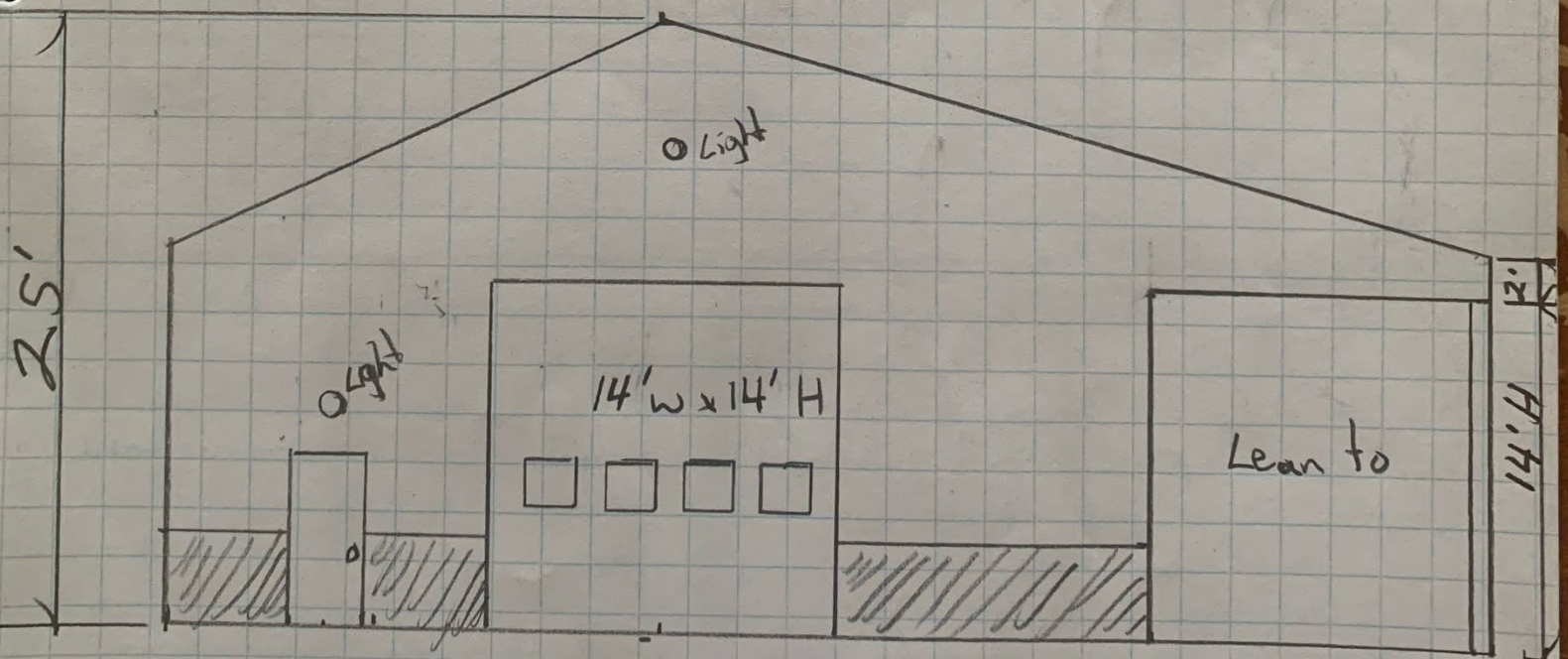
- Front of building no closer than 25' from property line. Building will have a 25' setback from the property line.


- Municipally provided garbage bin required only at this time.

REAR ELEVATION VIEW



FRONT ELEVATION VIEW

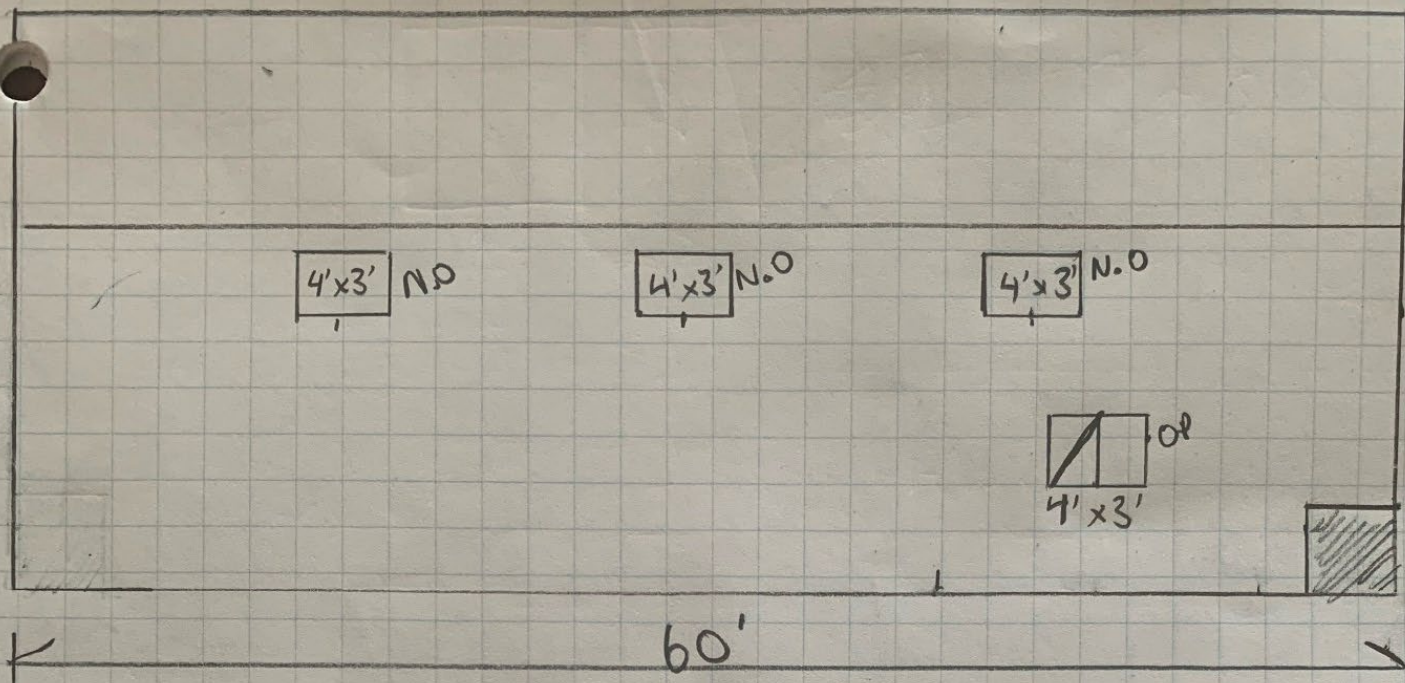


-  - wainscoting Black
- - overhead light LED

utility requirements - water, power, gas, sewer

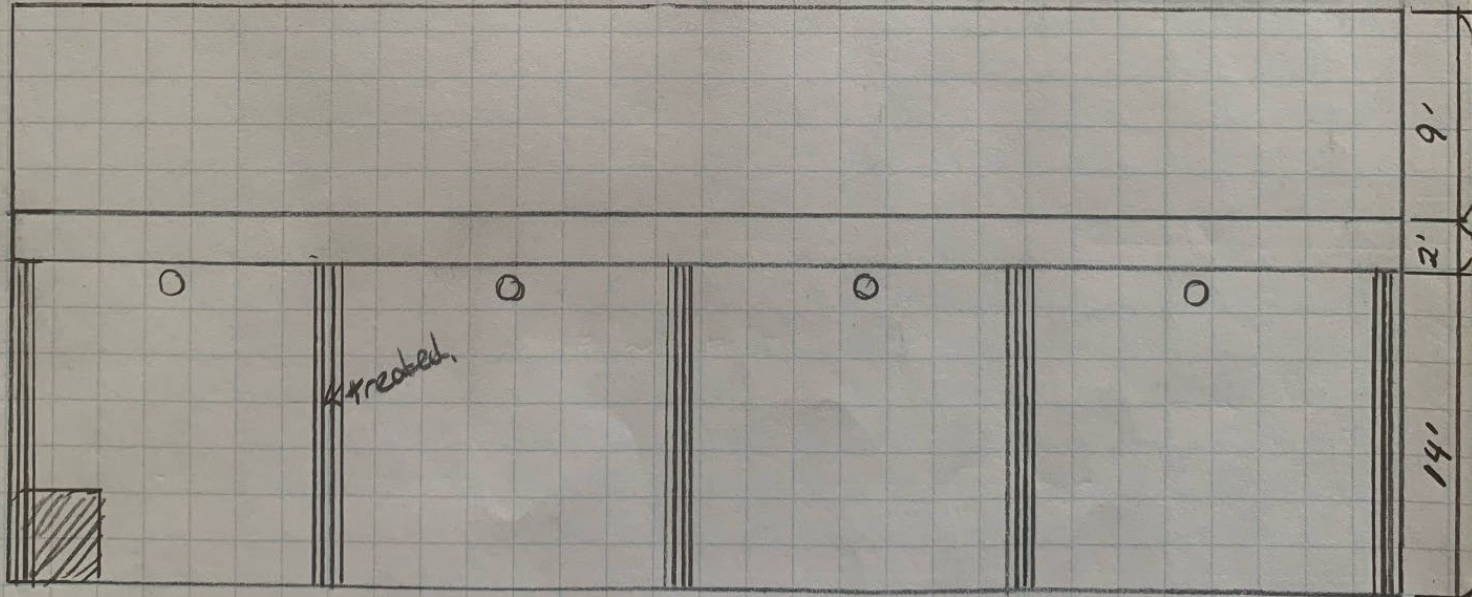
16' H ceiling to concrete.
 metal interior and exterior
 white metal interior
 grey/charcoal exterior
 w/ black trim.

WEST SIDE ELEVATION VIEW



3 - Non operable windows 4'x3'
1 - Operable slider window 4'x3'

EAST SIDE ELEVATION VIEW



○ - LED exterior light

FLOOR PLAN

